



## **STAGE 1 PRELIMINARY SITE INVESTIGATION (PSI)**

**23-25 CHARLES STREET  
LOT 1 & 2 DP500066  
LIVERPOOL, NSW, 2170**

Prepared For: **Hume Housing Pty Ltd**  
Project Number: **ENRS1182**  
Date: **22<sup>nd</sup> November 2018**

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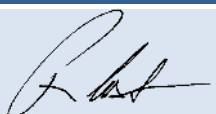

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## EXECUTIVE SUMMARY

Environment & Natural Resource Solutions (ENRS Pty Ltd) was commissioned as an independent environmental consultant by *Hume Housing Pty Ltd* (the client) to conduct a Stage 1 Preliminary Site Investigation (PSI) for residential properties located at 23 and 25 Charles Street, Liverpool, NSW, 2170 (*herein referred to as the Site*).

ENRS understand this PSI is required for due diligence purposes to assess the Site suitability for the proposed ongoing residential landuse and the potential for ground contamination in accordance with the provisions of the NSW State Environmental Planning Policy No. 55 (SEPP55). This report documents the results of a Stage 1 Site history review in general accordance with the NSW Environment Protection Authority (EPA) Guidelines for Consultants Reporting on Contaminated Sites (OEH;2011), and the National Environment Protection (Assessment of Site Contamination) Amendment Measure 2013 (No. 1).

This assessment aims to document the site history and identify the potential for contaminated land with respect to current or proposed Landuse. The objectives of this Stage One PSI were to;

- Document the available Site history;
- Identify potential on and off-site sources of contamination (past and present);
- Identify potential contamination types;
- Document the Site condition;
- Provide a preliminary assessment of potential Site contamination;
- Assess the need for further investigations, if any; and
- Provide a statement regarding the suitability of the Site for the proposed ongoing residual landuse.

The scope of work for the project comprised the following tasks:

- Review available Site history records incorporating previous investigation reports, proposed development plans, and publicly available data (including aerial photographs, geological maps, topographical maps, and registered groundwater bore database) to identify any past or present potentially contaminating activities and or any potential Areas of Environmental Concern (AECs);
- Site inspection investigate for potential sources of contamination or filling (15/11/2018); and
- Document investigation results and prepare a PSI report with a statement of Site condition, suitability and recommendations for additional investigation works or ongoing environmental management, if required.

Based on the findings outlined during this Stage 1 Preliminary Site Investigation the following conclusions and recommendations are provided;

- This Stage 1 PSI report documents a review of historical landuse records and Site inspections for property numbers 23 and 25, Charles Street, Liverpool, NSW. ENRS understand the Site proposal is for ongoing Residential Landuse;
- The site history records document the Site is situated in a residential area and was vacant until circa 1977 when two (2) brick residential buildings were constructed. No evidence of previous contaminating activity was identified during this investigation to trigger any further ground testing or assessment;
- The buildings were not subject to a hazardous materials survey. However, based on the date of construction circa 1977 there is some potential for asbestos within the building fabric which should be considered prior to any maintenance or demolition works. The potential for lead paint is considered low as lead content in domestic paint was restricted in 1969 (AS/NZS 4361.2:2017)
- Review of EPA contaminated land records did not identify any areas of environmental concern in proximity to the Site;
- The Site walkover and inspections conducted on the 15<sup>th</sup> November 2018 confirmed the Site condition is consistent with the documented history of residential landuse. The Site inspection did not identify any potential Areas of Environmental Concern (AECs);
- Based on the historical information provided in this report and observations made during the Site inspection, the Site ***may be considered suitable for the proposed ongoing residential landuse;***
- Should any change in Site conditions or incident occur which causes a potential environmental impact, a suitable environmental professional should be notified to further assess the Site and consider requirements for any additional assessment; and
- This report must be read in conjunction with the attached Statement of Limitations.

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## 1.0 INTRODUCTION

Environment & Natural Resource Solutions (ENRS Pty Ltd) was commissioned as an independent environmental consultant by *Hume Housing Pty Ltd* (the client) to conduct a Stage 1 Preliminary Site Investigation (PSI) for residential properties located at 23 and 25 Charles Street, Liverpool, NSW, 2170 (*herein referred to as the Site*).

ENRS understand this PSI is required for due diligence purposes to assess the Site suitability for the proposed ongoing residential landuse and the potential for ground contamination in accordance with the provisions of the NSW State Environmental Planning Policy No. 55 (SEPP55). This report documents the results of a Stage 1 Site history review in general accordance with the NSW Environment Protection Authority (EPA) Guidelines for Consultants Reporting on Contaminated Sites (OEH;2011), and the National Environment Protection (Assessment of Site Contamination) Amendment Measure 2013 (No. 1).

### 1.1 OBJECTIVES

This assessment aims to document the site history and identify the potential for contaminated land with respect to current or proposed Landuse. The objectives of this Stage One PSI were to;

- Document the available Site history;
- Identify potential on and off-site sources of contamination (past and present);
- Identify potential contamination types;
- Document the Site condition;
- Provide a preliminary assessment of potential Site contamination;
- Assess the need for further investigations, if any; and
- Provide a statement regarding the suitability of the Site for the proposed ongoing residual landuse.

### 1.2 SCOPE OF WORK

The scope of work for the project comprised the following tasks:

- Review available Site history records incorporating previous investigation reports, proposed development plans, and publicly available data (including aerial photographs, geological maps, topographical maps, and registered groundwater bore database) to identify any past or present potentially contaminating activities and or any potential Areas of Environmental Concern (AECs);
- Site inspection investigate for potential sources of contamination or filling (15/11/2018); and

- Document investigation results and prepare a PSI report with a statement of Site condition, suitability and recommendations for additional investigation works or ongoing environmental management, if required.

## 2.0 SITE DESCRIPTION

### 2.1 SITE IDENTIFICATION

The Site is located on Charles Street, Liverpool as shown in **Figure 1**. The key features required to identify the Site are summarised in **Table 1**.

**Table 1 Site Identification**

SITE	DESCRIPTION
Street Address	23-25 Charles Street, Liverpool, NSW, 2170
Lot / Deposited Plan	Lot 1 & Lot 2 in DP500066
Area	~870 m <sup>2</sup>
Local Government Area	Liverpool
Zoning	R4 High Density Residential

**Figure 1 Site Location Map**



Source: [www.maps.six.nsw.gov.au](http://www.maps.six.nsw.gov.au) (cited 20/11/2018)

### 2.2 SURROUNDING ENVIRONMENT

The Site is situated within an area of mixed residential refer to **Table 2** for the following adjacent land uses:



**Table 2 Surrounding land uses**

<b>North:</b>	Mill Road, further to residential properties with multi storey and limited access to soil.
<b>East:</b>	Charles Street further to residential houses with gardens and accessible soil.
<b>South:</b>	Residential houses with gardens and accessible soil.
<b>West:</b>	Vacant parcel of land overgrown with trees and weeds, further to commercial buildings and the Hume Highway. Number 302 (Lot 17 DP 659652) Hume Highway is signed as metal polishing and <b>chroming workshop ~60 metres west</b> of the subject site.

The nearest sensitive receptors include:

- Site users and nearby residential properties; and
- Shallow groundwater aquifers and stormwater drainage systems.

## 2.3 TOPOGRAPHY

A review of the Site topography was conducted with reference to the current series topographic map sheet. The Site area slopes gently to the east with drainage towards the Georges River approximately 600 metres east of the Site.

The majority of the Site is covered with buildings and expected to provide minor surface water infiltration on Site. Surface water runoff is expected to be captured by road side curb and guttering on Charles Street before entering the stormwater drainage system.

## 2.4 GEOLOGY

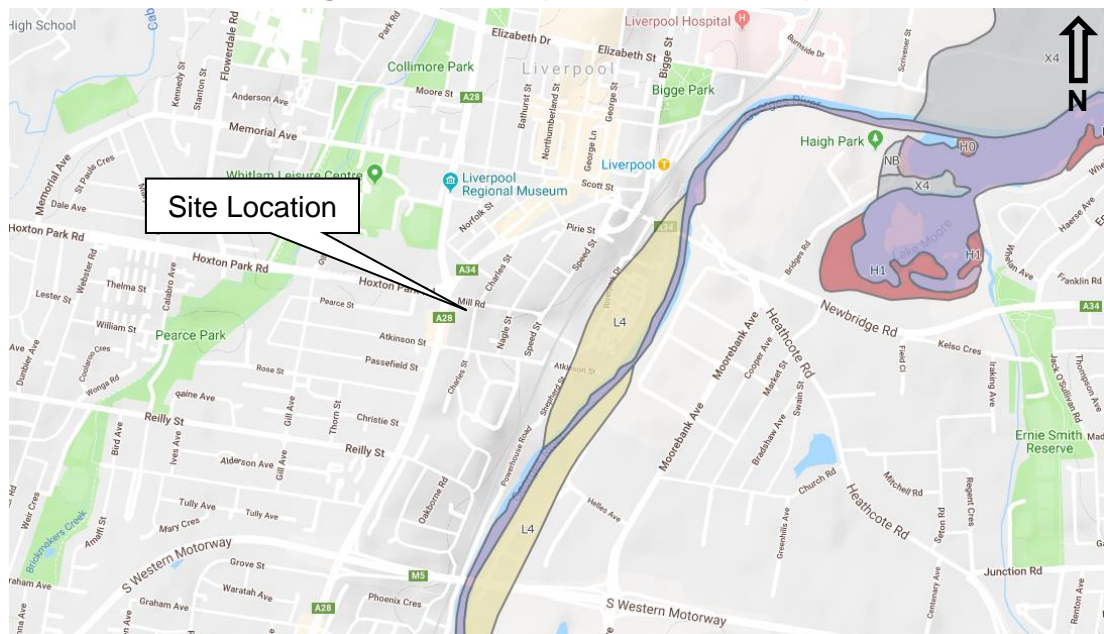
Review of the Site's geological setting was conducted with reference to the Penrith 1:100,000 geological series sheet. The Site is underlain by Triassic period Bringelly Shale (Rwb) described as shale, claystone, fine to medium grained lithic sandstone. In general, Shales within the Sydney Basin are characterised by low groundwater yields and moderate to high salinity.

### 2.4.1 Potential Acid Sulphate Soil (PASSA)

A desktop assessment was conducted for Potential Acid Sulphate Soil (PASS) with reference to the eSPADE online Acid Sulphate Soil Risk maps.

The Site is NOT in a PASS area. The nearest mapped PASS is mapped 400 metres east of the Site associated with alluvial deposits on the Georges River system as shown in **Figure 2**. Hence, no further investigation or soil testing is considered necessary.

**Figure 2 Acid Sulphate Soil Risk Map**



Source: <https://www.environment.nsw.gov.au/eSpade2Webapp> (cited 20/11/2018)

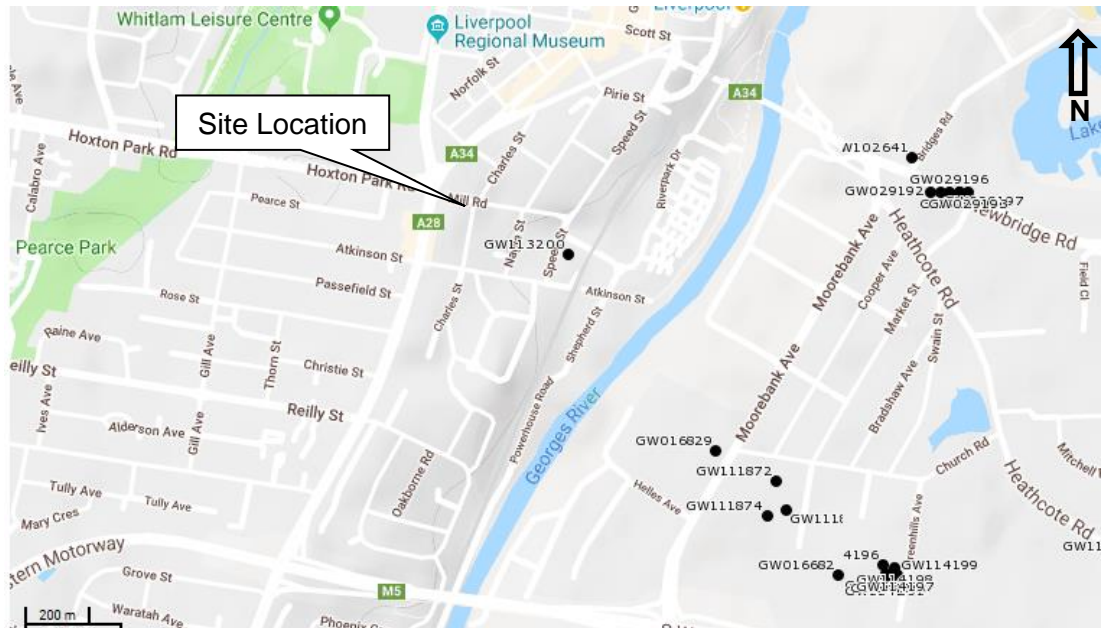
## 2.5 HYDROGEOLOGY

Based on the Site geology, groundwater in the area is expected to be associated with the following aquifer systems;

- *Shallow unconfined* systems hosted in the unconsolidated soil and clay, often ephemeral associated with rainfall recharge, with elevated salinity, and a shallow groundwater table generally less than 10 metres; and
- *Deep dual porosity aquifer (fractured and porous rock)* systems hosted in the underlying shales, claystone and sandstone with low to moderate yields, elevated salinity and standing water levels generally deeper than 10 metres.

Review of the WaterNSW online registered bore database identified one (1) groundwater bore within a 500 m radius of the Site (GW113200). Bore GW113200 is reported to be 10 m deep and registered for monitoring purposes. No groundwater users are identified in proximity to the Site. Refer to **Figure 3** for registered bore locations.

### Figure 3 Registered Bore Locations



Source: <https://realtimedata.watarnsw.com.au/> (cited 20/11/2018)

### 3.0 SITE HISTORY

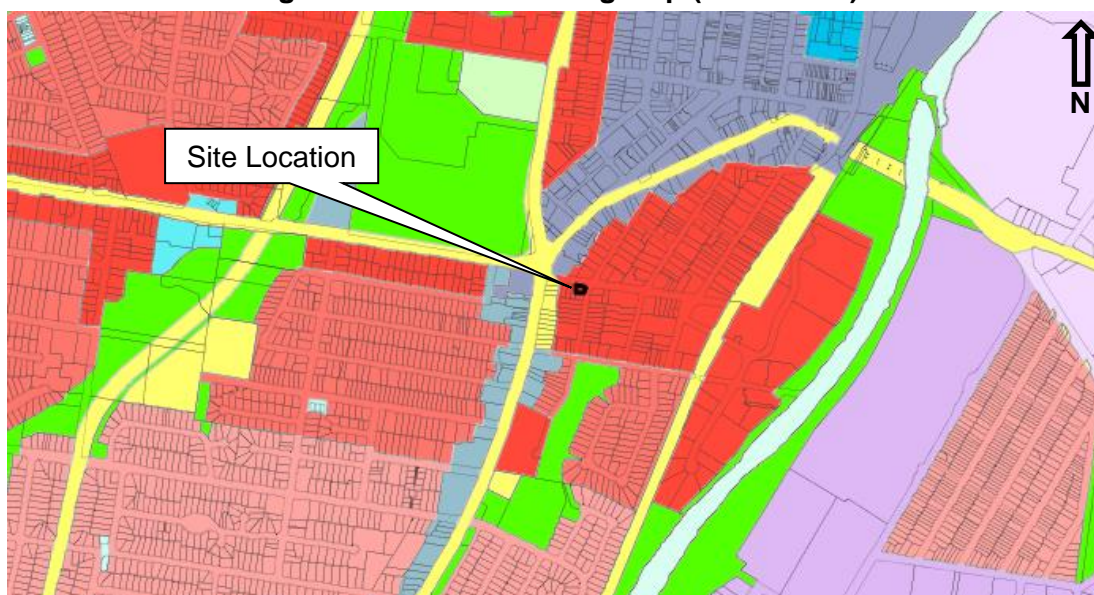
### 3.1 PREVIOUS REPORTS

ENRS understands that the Site has not been the subject of any previous environmental assessments. Hence, no reports were available for review at the time of this assessment.

### 3.2 ZONING & LAND USE

The Site is currently zoned as ***R4 - High Density Residential*** under the Liverpool Local Environmental Plan (LLEP) 2013, as shown in **Figure 4**.

**Figure 4 Land use Zoning Map (LLEP 2013)**



Source: <https://eplanning.liverpool.nsw.gov.au/Pages/lcc.maps/maps.aspx> (cited 20/11/2018)

### 3.3 REVIEW OF COUNCIL RECORDS

A review of Council records for the Site was conducted with a summary provided in **Table 3**. A complete record of council documents is attached in **Appendix A**.

The records do NOT identify any issues to indicate potential ground contamination.

**Table 3 Summary of Council Records**

Property:	Lot 1 DP 500066 – Charles Street Liverpool	
Application Number	Date	Description
310/77	27/4/1977	Consent for erection of a two storey dwelling with garage and carport.
549/77/506	12/5/1977	Approval of building plans and specification.
Property:	Lot 2 DP 500066 – Charles Street Liverpool	
Application Number	Date	Description
311/77	27/4/1977	Consent for erection of a two storey dwelling with garage and carport.
550/77/506	12/5/1977	Non-conformance notice for building structure with instruction to complete rectification works

### 3.4 HISTORICAL LAND TITLES

A search of prior and cancelled land titles was undertaken to document the timeline of previous landowners and their occupation, which provides an indication of potential

contaminating activities associated with previous landuse. A summary of historical titles is provided in **Table 4** with a record of titles attached in **Appendix B**.

The title records indicate the site has a history of residential landuse with a low risk for contamination.

**Table 4 Summary of Historical Titles**

Lot 1 & Lot 2 DP 500066	
1963	Raymond Pietra (Carrier)
1965	Sydney Percy Catlin (Painter) & Leslie Albert-Jones (Clerk)
1975	Mick Gimellaro (Builder)
1979	Maurice John (Assistant Tradesman)

### 3.5 HISTORICAL AERIAL IMAGERY

Historical aerial photographs of the Site area were reviewed to identify potential contaminating landuse and relevant changes in site conditions. Copies of imagery are provided in **Appendix C**. The key observations made from aerial reconnaissance are summarised in the **Table 5**.

**Table 5 Summary of Historical Aerial Images**

Year	Description of site condition and surrounding landuse
1943	Vacant Land within residential area with no buildings on Site.
1961	Vacant site with partial vegetation cover. Areas of bare ground indicate some vehicle access from the north. Organic shapes in the southwest corner appear to be stockpiles or vegetation. Adjacent areas comprise residential houses with gardens and some vacant land, namely the adjacent block to the east.
1970	Site remains vacant with increased vegetation cover. Adjacent areas continue to comprise residential houses with gardens and some vacant land, namely the adjacent block to the east. Car sales yards and commercial buildings are evident along the Hume Highway, upgradient of the Site
1986	Site is developed with two (2) buildings covering the majority of the property. The buildings are two storey with red rooves which is consistent with the Council records for 2 buildings constructed in 1977. The surrounding is primarily residential with continued commercial buildings along the Hume highway.
2004	Site layout as per 1986 with two (2) buildings, consistent with historical records since 1977. Surrounding areas comprise residential landuse similar to 1986 observations.



Year	Description of site condition and surrounding landuse
2006	Site layout as per 1986 with two (2) buildings, consistent with historical records since 1977. Adjacent land to the west is vacant with three (3) residential buildings demolished.
2017	Site layout as per 1986 with two (2) buildings, consistent with historical records since 1977. Multi storey buildings to the north with active building sites further to the west.

### 3.6 DANGEROUS GOODS RECORDS

A registered search of SafeWork NSW records for licences to keep dangerous goods was not conducted during this assessment, as the Site history does not report any previous commercial/industrial landuse.

### 3.7 EPA RECORDS

A search of the NSW EPA Contaminated Land register was conducted to assess the potential for contaminated land in the area. The search identified two (2) property records within the Liverpool LGA. The reported addresses are not in direct hydraulic connection with the subject Site. Hence, the subject Site is not declared to be in an 'investigation' or 'remediation' area, nor is it subject to an 'investigation' or 'remediation' order under the Contaminated Land Management Act, 1997.

<b>Search results</b>			
Your search for: LGA: Liverpool City Council		Matched 13 notices relating to 2 sites.	
		<a href="#">Search Again</a>	<a href="#">Refine Search</a>
Suburb	Address	Site Name	Notices related to this site
CHIPPING NORTON	85-107 Alfred STREET	<a href="#">Former ACR</a>	3 current and 1 former
MOOREBANK	(a) 1 Bapaume ROAD	<a href="#">ABB Australia Pty Ltd</a>	1 current and 8 former
Page 1 of 1			
21 November 2018			

Source: <https://apps.epa.nsw.gov.au/prclmapp/searchregister.aspx> (cited 21/11/2018)

### 3.8 UNDERGROUND SERVICE PLANS

The location of underground services can provide conduits and preferential pathways for contaminant migration into or from a Site. Service excavations and trenches may also comprise historical Fill which may require management as waste.

A Dial Before You Dig (DBYD) search was undertaken to compile underground service plans, copies of the records are provided in **Appendix D**.

A review of the service provides report the following observations:



- Sewer line passes from west to east through Lot 2 from the Hume Highway where several commercial and industrial facilities are located. Potential migration pathway for any upgradient contamination. Considered low risk as the 150 VC line is reported on the DBYD plans at a depth of 0.9 m which is likely above the groundwater table and a search of EPA records does not identify any contaminated sites in the area.

### 3.9 INTEGRITY ASSESSMENT

Where available this Site history assessment has utilised formal sources of information issued by local government (Council), SafeWork, NSW EPA, and NSW Land & Property Information. Review of the Site history summary demonstrates a consistent timeline of land use activities and layout with no significant data gaps or inconsistencies to trigger further historical investigations. Hence, the sources and content of this assessment maybe considered to provide a reliable and satisfactory level of accuracy to support this Site history assessment and the identification of potential sources of environmental contamination.

## 4.0 SITE INSPECTION

A Site inspection was conducted by ENRS Environmental Consultant, Mr Taite Beeston, on the **15<sup>th</sup> November 2018**. Refer **Appendix E** for a photographic log of Site conditions and field observations.

The inspection consisted of a Site walk over to confirm the Site boundaries, access, layout, surface conditions, landuse, buildings, potential for Above ground Storage Tanks (AST) and Underground Storage Tanks (UST), and a preliminary assessment for potentially contaminated Fill and solid waste.

### 4.1 LAYOUT & ACCESS

The Site layout was observed to be consistent with the aerial imagery from 2017 provided in **Appendix C** with two (2) residential brick buildings positioned near the centre of each Lot, driveway access from Charles Street and grassed back yards with accessible soil.

### 4.2 BUILDINGS

The Site layout comprises two (2) residential brick buildings with two storey levels and internal garages.

A building survey was not conducted during the site inspection. Preliminary observation indicates the buildings are brick with low potential for lead paint. It is recommended a hazardous material survey should be considered should the buildings be subject to refurbishment or demolition.

### **4.3 SURFACE CONDITIONS**

Both properties comprise of concrete garages and minor footpaths around the buildings. The majority of the unbuilt areas are covered by grass and topsoil. The front yards and majority of the rear yards are open soils with grass and limited gardens.

No oil or surface stains were noted to indicate a history of spills or chemical contamination.

### **4.4 LIQUID & SOLID WASTE**

The Site inspection did not identify any stored liquid and solid waste.

### **4.5 ABOVE GROUND STORAGE TANK**

No evidence of fill points, mounting or venting infrastructure was observed during the Site inspection. No evidence of AST's or UST's was observed.

### **4.6 ASBESTOS**

Fragments of asbestos containing material (ACM) sheeting comprising less than 10 m<sup>2</sup> were observed in soil at the rear western boundary of property number 25. The ACM sheeting was positioned vertically in the ground characteristic of historical garden edging or former fencing material.

It is recommended the asbestos fragments in soil be removed by a competent person or suitably licensed removal contractor.

### **4.7 LEAD PAINT & HAZARDOUS MATERIALS**

The buildings were observed to be brick with low risk for lead paint and hazardous materials. A building survey was not conducted during the site inspection. Preliminary observations indicate the buildings are brick with low potential for lead paint. It is recommended a hazardous material survey be considered should the buildings be subject to refurbishment or demolition.

### **4.8 POTENTIALLY CONTAMINATED SOILS**

Given the documented Site history for residential landuse and observed Site conditions there is 'low' potential for the presence of significant ground contamination at the Site. However, the observation of ACM in soil indicates there is likely portions of soil at the Site which will require removal by a suitably licensed asbestos removalist.

## **5.0 SITE CHARACTERISATION**

The site history records document the Site is located in an area with a long history of residential landuse. The Site comprised vacant land until 1977 when two (2) brick

buildings were constructed. This preliminary site investigation has NOT identified any potential for significant ground contamination at the Site to trigger any further ground testing or assessment.

Based on the results of the historical searches and site inspections the Site condition is consistent with the documented history of residential landuse and it is considered unlikely to pose a significant risk to the surrounding environment and health of future users of the Site. Therefore, the ***Site may be considered suitable for the proposed ongoing residential landuse.***

## 6.0 CONCLUSIONS & RECOMMENDATIONS

Based on the findings outlined during this Stage 1 Preliminary Site Investigation the following conclusions and recommendations are provided;

- This Stage 1 PSI report documents a review of historical landuse records and Site inspections for property numbers 23 and 25, Charles Street, Liverpool, NSW. ENRS understand the Site proposal is for ongoing Residential Landuse;
- The site history records document the Site is situated in a residential area and was vacant until circa 1977 when two (2) brick residential buildings were constructed. No evidence of previous contaminating activity was identified during this investigation to trigger any further ground testing or assessment;
- The buildings were not subject to a hazardous materials survey. However, based on the date of construction circa 1977 there is some potential for asbestos within the building fabric which should be considered prior to any maintenance or demolition works. The potential for lead paint is considered low as lead content in domestic paint was restricted in 1969 (AS/NZS 4361.2:2017)
- Review of EPA contaminated land records did not identify any areas of environmental concern in proximity to the Site;
- The Site walkover and inspections conducted on the 15<sup>th</sup> November 2018 confirmed the Site condition is consistent with the documented history of residential landuse. The Site inspection did not identify any potential Areas of Environmental Concern (AECs);
- Based on the historical information provided in this report and observations made during the Site inspection, the Site ***may be considered suitable for the proposed ongoing residential landuse;***
- Should any change in Site conditions or incident occur which causes a potential environmental impact, a suitable environmental professional should be notified to further assess the Site and consider requirements for any additional assessment; and
- This report must be read in conjunction with the attached Statement of Limitations.

## 7.0 REFERENCES

- Australian Government National Water Commission (2012). Minimum Construction Requirements for Water Bores in Australia (third Edition).
- Australian Government (2011) National Health & Medical Research Council. National Resource Management Ministerial Council. National Water Quality Strategy. Australian Drinking Water Guidelines (v3.3 updated 2016).
- Australian Standard (1999) AS4482.2–1999: Guide to the investigation and sampling of sites with potentially contaminated soil – Volatile substances.
- Australian Standard (2005) AS4482.1–2005: Guide to the investigation and sampling of sites with potentially contaminated soil – Non-volatile and semi-volatile compounds.
- enHEALTH (2005). Management of Asbestos in the Non-Occupational Environment
- NEPC (2013). National Environment Protection (Assessment of Site Contamination) Measure.
- NSW Department of Environment and Conservation (2007). Guidelines for the Assessment and Management of Groundwater Contamination.
- NSW EPA (1995) Sampling Design Guidelines. ISBN 0-7310-3756-1.
- NSW EPA (2014). Waste Classification Guidelines. Part 1 Classifying Waste.
- NSW EPA (2015). Contaminated Land Management: Guidelines on the Duty to Report Contamination under the Contaminated Land Management Act 1997
- NSW EPA (2017). Contaminated Land Management: Guidelines for the NSW Site Auditor Scheme, 3rd ed.
- NSW Office of Environment and Heritage (OEH) (2011) Guidelines for Consultants Reporting on Contaminated sites. ISBN 0 7310 3892 4.
- Safe Work Australia (2016). How to Manage and Control Asbestos in the Workplace Code of Practice (version 3).
- Safe Work Australia (2016). How to Safely Remove Asbestos Code of Practice (version 2).
- WorkCover NSW (2014). Guidelines for Managing Asbestos in or on Soil.

## 8.0 LIMITATIONS

This report and the associated services performed by ENRS are in accordance with the scope of services set out in the contract between ENRS and the Client. The scope of services was defined by the requests of the Client, by the time and budgetary constraints imposed by the Client, and by the availability of access to Site.

ENRS derived the data in this report primarily from visual inspections, and, limited sample collection and analysis made on the dates indicated. In preparing this report, ENRS has relied upon, and presumed accurate, certain information provided by government authorities, the Client and others identified herein. The report has been prepared on the basis that while ENRS believes all the information in it is deemed reliable and accurate at the time of preparing the report, it does not warrant its accuracy or completeness and to the full extent allowed by law excludes liability in contract, tort or otherwise, for any loss or damage sustained by the Client arising from or in connection with the supply or use of the whole or any part of the information in the report through any cause whatsoever.

Limitations also apply to analytical methods used in the identification of substances (or parameters). These limitations may be due to non-homogenous material being sampled (i.e. the sample to be analysed may not be representative), low concentrations, the presence of 'masking' agents and the restrictions of the approved analytical technique. As such, non-statistically significant sampling results can only be interpreted as 'indicative' and not used for quantitative assessments.

The data, findings, observations, conclusions and recommendations in the report are based solely upon the state of Site at the time of the investigation. The passage of time, manifestation of latent conditions or impacts of future events (e.g. changes in legislation, scientific knowledge, land uses, etc) may render the report inaccurate. In those circumstances, ENRS shall not be liable for any loss or damage that may be occasioned directly or indirectly through the use of, or reliance on, the contents of the report.

This report has been prepared on behalf of and for the exclusive use of the Client, and is subject to and issued in connection with the provisions of the agreement between ENRS and the Client. ENRS accepts no liability or responsibility whatsoever and expressly disclaims any responsibility for or in respect of any use of or reliance upon this report by any third party or parties.

It is the responsibility of the Client to accept if the Client so chooses any recommendations contained within and implement them in an appropriate, suitable and timely manner.

# **FIGURES**

**Figure 5 Site Plan**





**ENRS**

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Scale: **scale bar**

Revision: **A**

Checked: **ML**

Status: **Rev 1**

Drawn: **TF**

Approved: **RL**

Client: **Hume Housing**

Project: **ENRS1182**

Location: **23-25 Charles Street Liverpool NSW**

Title: **Site Plan**

Date: **20-11-18**

Figure: **5**



# **APPENDICES**

# **Appendix A**

## **Council Records**

**BUILDING PERMIT**

Local Government Act, 1919

No. 549/77/506  
549/77/506

THIS IS TO CERTIFY that the Plans and Specifications numbered

submitted by M. Gimellaro

of Lot 20-21 York Street, Prestons

NEW BUILDINGS  
of ADDITIONS  
ALTERATIONS

and comprising Brick Dwelling

to be erected on Lot A Section Charles Street Street Liverpool

have been approved by Council.

SPECIAL CONDITIONS:

(a) Compliance with the Local Government Act, 1919, and Ordinances thereunder.

(b) That the building shall be erected on a building line of NOT LESS THAN TWENTY-FIVE (25) FEET back from the street alignment except in (i) commercial districts (ii) rural, non-urban and green belt areas — 66 feet (iii) rural, non-urban and green belt areas — 100 feet where land fronts a county road.

(c) That 48 hours notice in writing be given to Council for inspection of trenches before foundations are laid, foundations before trenches are filled, drains before they are covered in and framework when complete. Buildings are not to be used or occupied until approval granted by Council.

(d) Dwelling including Garage & Verandah to stand 7.62 m. min. from the Charles street boundary of the land and min. 3.81 m. from Mill Road boundary and to be sited to observe Regulation side boundary clearances, i.e. walls 900 m.m. min. and eaves/gutter projections not less than 675 m.m. clear of the side boundaries. Fencing within the Building Line to both Charles St and Mill Rd to be maximum 762 mm height above ground level. Screen wall on street alignment to be deleted.

(e) Footings to be positioned by a proper survey and a Survey Report describing the siting of the building in relation to the boundaries of the allotment to be submitted to Council before construction proceeds above floor level/past the framework stage.

(f) Finished floor level to be minimum 6" above the ground surface. Surrounding ground to be graded away from the building on all sides and the building site drained to Council's satisfaction.

(g) Footings to be taken to solid and uniform bearing.

(h) Structural Engineer's details for reinforced concrete footings, floors and stair to be submitted to Council and approval obtained prior to the work being carried out.

(i) All exposed timber to be adequately weatherproofed to Council's satisfaction.

(j) Floors of W.C.'s, Laundry and bathroom to be of approved impervious construction finished to fall to floor waste.

(k) Arrangements to be made with Council's Engineering Dept. prior to completion and occupation of the cottage for construction of a gutter crossing if the siting of the proposed driveway does not utilise the existing gutter layback.

(l) Builders closet accommodation connected to the M.W.S. & D. Board sewer to be provided on site prior to work commencing.

(m) Whole building to be occupied as a single dwelling only.

E & O E

In accordance with provisions of the Local Government Act, 1919, as amended, you are advised that you have a right of appeal to the Local Government Appeals Tribunal against this decision of the Council.

Name of Owner M. Gimellaro, Lot 20-21 York Street, Prestons

Name of Builder As Above

This approval shall not extend to and shall not affect the rights of the Council in respect of any matter appearing in or arising out of such Plans and Specifications which is not in conformity with the Local Government Act, 1919, and the Ordinances thereunder.

Dated 12th May, 1977

Town Clerk.





# LIVERPOOL CITY COUNCIL

ALL CORRESPONDENCE TO BE ADDRESSED TO THE TOWN CLERK, BOX 64, P.O., LIVERPOOL. N.S.W. 2170

YOUR  
REFERENCE NO.....

TELEPHONE: 602-0511

DX5030 LIVERPOOL  
33 MOORE STREET,  
LIVERPOOL, N.S.W.

COUNCIL  
REFERENCE NO. H&B

EXT. 45 PW/d1

10th October, 1977

Mr. M. Gimellaro,  
Lot 20-21 York Street,  
PRESTONS 2170

## LOCAL GOVERNMENT ACT, 1919 SECTION 310(b)

BUILDING PERMIT NO. 550/77/506

Situation of premises to which the Notice refers:

Lot B Charles St., Liverpool

An inspection of the abovementioned premises revealed that the brick dwelling being erected thereon was not in conformity with the application, plans and specifications in respect of which the Council has given its approval for the erection of the building.

You are hereby directed to carry out the following works in conformity with the approved plans and specifications within a period of 28 days from the date hereof.

- (1) Replace cracked hanging beam over Bed. 3.
- (2) Secure flying struts against horizontal movement
- (3) Install struts to rafters over laundry and "triple grip" connectors to rafter/beam junctions over garage

*Internal gyprock lining installed. R/S. 10/11*  
*Notice complied with. 11/11/77*  
*Checked by ladder. 15/11/77 11.00 A.M.*  
Your attention is directed to the following Section of the said Act:-

Section 317(1) of the Local Government Act, 1919 provides that if any person does or causes to be done any work in connection with the erection of a building without the approval of the Council or not in conformity with such approval, he shall be liable to a penalty not exceeding \$200 and a further penalty not exceeding \$20 for each day during which such work is done after notice from Council.

Section 632(1) Where any matter or thing is by or under this Act directed or forbidden to be done, or where the council or any person is authorised by this Act to direct any matter or thing to be done, or to forbid any matter or thing to be done, and such matter or thing if so directed to be done remains undone, or if so forbidden to be done is done, then in every such case every person offending against such direction or prohibition shall be guilty of an offence under this Act.

*Findley*  
(R. T. FINDLEY)  
TOWN CLERK





# LIVERPOOL CITY COUNCIL

ALL CORRESPONDENCE TO BE ADDRESSED TO THE TOWN CLERK, BOX 64, P.O., LIVERPOOL, N.S.W. 2170

YOUR  
REFERENCE NO.....

TELEPHONE: 602-0511

33 MOORE STREET,  
LIVERPOOL, N.S.W.

COUNCIL  
REFERENCE NO. T.P. 206 174-25

EXT. 27 WW.MT

CONSENT NO. LCC: 311/77

Date: 27th April, 1977

## CONSENT TO DEVELOPMENT

### UNDER CITY OF LIVERPOOL PLANNING SCHEME ORDINANCE

To  
M. & B. Gimellaro,  
Lots 20-21 York Street,  
PRESTONS. 2170

The Council of the City of Liverpool as the Responsible Authority under the Local Government Act hereby grants permission to carry out development

on Lot (B) 2 Deposited Plan Number 500066

House No. \_\_\_\_\_ Section No. \_\_\_\_\_ Resubdivision of \_\_\_\_\_

in Charles Street, Liverpool.

situated within a Suspended (I.D.O. 48 applies).

for the purpose of erection of two storey dwelling with carport and garage under for motor vehicle.

Conditions, if any, applicable to this application for consent:-

R.T. FINDLEY,  
TOWN CLERK

Per:

NOTE: This consent is not approval to erect a building or to a subdivision. Plans for such purposes must be submitted in the usual manner.





# LIVERPOOL CITY COUNCIL

ALL CORRESPONDENCE TO BE ADDRESSED TO THE TOWN CLERK, BOX 64, P.O., LIVERPOOL, N.S.W. 2170

YOUR  
REFERENCE NO. ....

TELEPHONE: 602-0511

33 MOORE STREET,  
LIVERPOOL, N.S.W.

COUNCIL  
REFERENCE NO. T.P. 5856

EXT. 27 WN.MT

CONSENT NO. LCC: 310/77

Date: 27th April, 1977

## CONSENT TO DEVELOPMENT

### UNDER CITY OF LIVERPOOL PLANNING SCHEME ORDINANCE

To M. & B. Gimellaro,  
Lots 20-21 York Street,  
PRESTONS. 2170

The Council of the City of Liverpool as the Responsible Authority under  
the Local Government Act hereby grants permission to carry out development  
on Lot (A) 1 Deposited Plan Number 500066

House No. \_\_\_\_\_ Section No. \_\_\_\_\_ Resubdivision of \_\_\_\_\_  
in Charles Street, Liverpool.

situated within a Suspended (I.D.O. 48 applies).

for the purpose of erection of two storey dwelling with garage and  
carport under for motor vehicle.

Conditions, if any, applicable to this application for consent:-

R.T. FINDLEY,  
TOWN CLERK

Per: 

NOTE: This consent is not approval to erect a building or to a subdivision.  
Plans for such purposes must be submitted in the usual manner.

# **Appendix B**

## **Historical Titles**

## NSW LRS - Title Search

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH  
-----FOLIO: 2/500066  
-----

SEARCH DATE	TIME	EDITION NO	DATE
-----	----	-----	----
7/11/2018	3:26 PM	-	-

VOL 9409 FOL 67 IS THE CURRENT CERTIFICATE OF TITLE

LAND  
-----LOT 2 IN DEPOSITED PLAN 500066  
AT LIVERPOOL  
LOCAL GOVERNMENT AREA LIVERPOOL  
PARISH OF ST LUKE COUNTY OF CUMBERLAND  
TITLE DIAGRAM DP500066FIRST SCHEDULE  
-----

THE HOUSING COMMISSION OF NEW SOUTH WALES (T W733455)

SECOND SCHEDULE (3 NOTIFICATIONS)  
-----

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 L558136 EASEMENT TO DRAIN WATER AFFECTING THAT PART OF THE  
LAND ABOVE DESCRIBED SHOWN AS 6 FEET WIDE IN PLAN WITH  
L558136
- 3 Q690703 EASEMENT FOR SEWERAGE PURPOSES AFFECTING THAT PART  
OF THE LAND ABOVE DESCRIBED SHOWN SO BURDENED IN  
DP451456

NOTATIONS  
-----

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*

PRINTED ON 7/11/2018

## NSW LRS - Title Search

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH  
-----FOLIO: 1/500066  
-----

SEARCH DATE	TIME	EDITION NO	DATE
-----	----	-----	----
7/11/2018	3:26 PM	-	-

VOL 9409 FOL 66 IS THE CURRENT CERTIFICATE OF TITLE

LAND  
-----LOT 1 IN DEPOSITED PLAN 500066  
AT LIVERPOOL  
LOCAL GOVERNMENT AREA LIVERPOOL  
PARISH OF ST LUKE COUNTY OF CUMBERLAND  
TITLE DIAGRAM DP500066FIRST SCHEDULE  
-----

NEW SOUTH WALES LAND AND HOUSING CORPORATION (T W733456)

SECOND SCHEDULE (3 NOTIFICATIONS)  
-----

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 L558136 EASEMENT TO DRAIN WATER AFFECTING THAT PART OF THE  
LAND ABOVE DESCRIBED SHOWN AS 6 FEET WIDE IN PLAN WITH  
L558136
- 3 Q690703 EASEMENT FOR SEWERAGE PURPOSES APPURTENANT TO THE  
LAND ABOVE DESCRIBED AFFECTING THAT LAND SHOWN SO  
BURDENED IN DP451456

NOTATIONS  
-----

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*

PRINTED ON 7/11/2018



Order number: 54088894  
Your Reference: ENRS1182  
07/11/18 15:26



Prior Title  
-----

9409-67

Prior title search for title reference: 2/500066

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SAI Global Property Division an approved NSW Information Broker hereby certifies that the information contained in this document has been provided electronically by the Registrar General in accordance with section 96B(2) of the Real Property Act 1900.



Order number: 54088894  
Your Reference: ENRS1182  
07/11/18 15:26



Prior Title  
-----

9409-66

Prior title search for title reference: 1/500066

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SAI Global Property Division an approved NSW Information Broker hereby certifies that the information contained in this document has been provided electronically by the Registrar General in accordance with section 96B(2) of the Real Property Act 1900.



NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH  
-----SEARCH DATE  
-----

7/11/2018 3:26PM

FOLIO: 2/500066  
-----First Title(s): SEE PRIOR TITLE(S)  
Prior Title(s): VOL 9409 FOL 67

Recorded -----	Number -----	Type of Instrument -----	C.T. Issue -----
28/3/1988		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
11/7/1988		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
19/5/1994		AMENDMENT: LOCAL GOVT AREA	

\*\*\* END OF SEARCH \*\*\*

PRINTED ON 7/11/2018

NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH  
-----SEARCH DATE  
-----

7/11/2018 3:26PM

FOLIO: 1/500066  
-----First Title(s): SEE PRIOR TITLE(S)  
Prior Title(s): VOL 9409 FOL 66

Recorded -----	Number -----	Type of Instrument -----	C.T. Issue -----
28/3/1988		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
11/7/1988		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
19/5/1994		AMENDMENT: LOCAL GOVT AREA	

\*\*\* END OF SEARCH \*\*\*

PRINTED ON 7/11/2018

## **CERTIFICATE ORDER SUMMARY**

### **Transaction Details**

Date: 21/11/2018 17:21  
Order No. 54330777  
Certificate No: 84865696  
Your Reference: ENRS1182  
Certificate Ordered: NSW LRS - Copy of Cancelled Title - Cancelled Title CT9409-67  
Available: Y  
Size (KB): 163  
Number of Pages: 2  
Scan Date and Time: 08/02/2011 13:23

© Office of the Registrar-General 2018

SAI Global Property Division an approved NSW Information Broker hereby certifies that the information contained in this document has been provided electronically by the Registrar General in accordance with section 96B(2) of the Real Property Act 1900.

NEW SOUTH WALES

(For Grant and title reference  
prior to first edition see  
Deposited Plan.)

## CERTIFICATE OF TITLE

PROPERTY ACT, 1900, as amended.



Vol. 9499 Fol. 67

1st Edition issued 8-4-1963.

I certify that the person described in the First Schedule is the registered proprietor of the undermentioned estate in the land within described subject nevertheless to such exceptions encumbrances and interests as are shown in the Second Schedule.

Witness

Registrar-General.

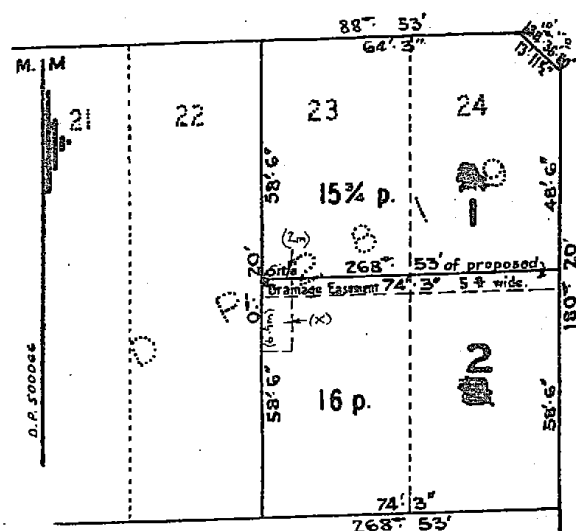


PLAN SHOWING LOCATION OF LAND

CANCELLED

SEE AUTO FOLIO

ROAD



(X) EASEMENT FOR SEWERAGE PURPOSES  
2 METRES WIDE - Q690103

ESTATE AND LAND REFERRED TO.

Estate in Fee Simple in Lot 2 in Deposited Plan 500066 at Liverpool in the City of Liverpool Parish of St. Luke and County of Cumberland.

FIRST SCHEDULE (Continued overleaf)

RAYMOND LOUIS PIETRA, of Liverpool South, Carrier and JEAN PIETRA, his wife, as Joint Tenants.

*Janatson*  
Registrar General.

**SECOND SCHEDULE** (Continued overleaf)

1. Reservations and conditions, if any, contained in the Crown Grant(s) referred to in the said Deposited Plan.

*J. J. J.*  
Registrar General.

**NOTE: ENTRIES RULED THROUGH AND AUTHENTICATED BY THE SEAL OF THE REGISTRAR-GENERAL ARE CANCELLED.**

WARNING: THIS DOCUMENT MUST NOT BE REMOVED FROM THE LAND TITLES OFFICE

FIRST SCHEDULE (continued)			
REGISTERED PROPRIETOR	NATURE	INSTRUMENT NUMBER	SIGNATURE OF REGISTRAR-GENERAL
<i>Sydney Percy Gatlin of Liverpool, Painter, Agency Dealer Parkers, Bay Builder and Landlord. Notice of Assignment of Property to the</i>	Transfer	J900719	2-2-1965
<i>Sydney Percy Gatlin of Liverpool, Painter and Lessee of Halocell-Albert Jones of Gubburra, Clerk as joint tenants</i>	Notice of Death	P435403	7-11-1975
<i>Mick Gimellaro of Prestons, Builder and Beverley Gimellaro his wife as joint tenants</i>	Transfer	Q323734	12-8-1977
<i>Beatrice Friggieri of Betera, Widow</i>	Transfer	Q 690703	27-6-1979
<i>ROSE-FAUCETT NEW SOUTH WALES LAND AND HOUSING CORPORATION BY TRANSMISSION W73451 AND TRANSFER W73455. REGISTERED</i>	10-2-1987		

SEE AUTO FOLIO  
SECOND SCHEDULE (continued)

SECOND SCHEDULE (continued)			
NATURE	INSTRUMENT NUMBER	DATE	PARTICULARS
Transfer	L558136P	12-8-1969	Assessment to Drain Water, affecting that part of the land within described shown as 6 feet wide in plan lodged with transmission L558136 (as more fully set out in the said instrument) Easement for sewerage purposes to appurtenant to the land comprised in Certificate of Title Vol 9409 Fol 66 affecting that part of the land within described shown as burdened in the plan hereon.
Transfer	Q690703P		

FORM No. 184A

NOTE: ENTRIES RULED THROUGH AND AUTHENTICATED BY THE SEAL OF THE REGISTRAR-GENERAL ARE CANCELLED

## **CERTIFICATE ORDER SUMMARY**

### **Transaction Details**

Date: 21/11/2018 17:21

Order No. 54330777

Certificate No: 84865695

Your Reference: ENRS1182

Certificate Ordered: NSW LRS - Copy of Cancelled Title - Cancelled Title CT9409-66

Available: Y

Size (KB): 134

Number of Pages: 2

Scan Date and Time: 08/02/2011 13:23

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SAI Global Property Division an approved NSW Information Broker hereby certifies that the information contained in this document has been provided electronically by the Registrar General in accordance with section 96B(2) of the Real Property Act 1900.



# M

(For Grant and title reference  
prior to first edition see  
Deposited Plan.)

## CERTIFICATE OF TITLE

PROPERTY ACT, 1900, as amended.



094109099



Vol. 9409 Fol. 66

1st Edition issued 8-4-1963.

I certify that the person described in the First Schedule is the registered proprietor of the undermentioned estate in the land within described subject nevertheless to such exceptions encumbrances and interests as are shown in the Second Schedule.

Witness

Bailey

*Jawidson*  
Registrar-General.



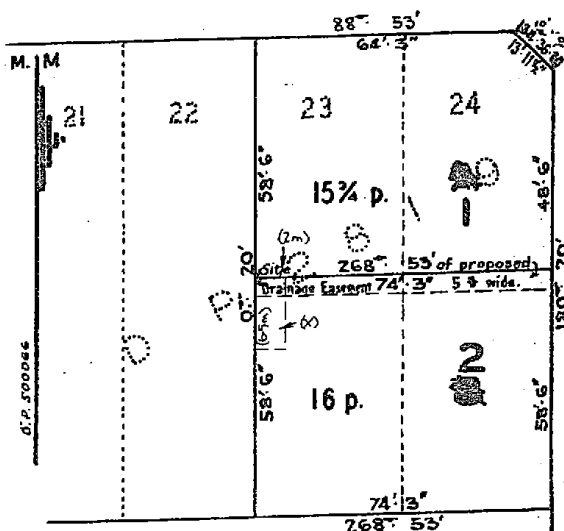
PLAN SHOWING LOCATION OF LAND

**CANCELLED**

SEE AUTO FOLIO

MILL

# ROAD



(X) EASEMENT FOR SEWERAGE PURPOSES  
2 METRES WIDE - Q690703

ESTATE AND LAND REFERRED TO.

S  
Estate in Fee Simple in Lot 1 in Deposited Plan 500066 at Liverpool in the City of Liverpool Parish  
of St. Luke and County of Cumberland.

FIRST SCHEDULE (Continued overleaf)

~~RAYMOND LOUIS PIETRA, of Liverpool South, Carrier and JEAN PIETRA, his wife, as Joint Tenants.~~

*Janatson*  
Registrar General.

**SECOND SCHEDULE** (Continued overleaf)

1. Reservations and conditions, if any, contained in the Crown Grant(s) referred to in the said Deposited Plan.

*J. J. Johnston*  
Registrar General.

**NOTE: ENTRIES RULED THROUGH AND AUTHENTICATED BY THE SEAL OF THE REGISTRAR-GENERAL ARE CANCELLED.**

FIRST SCHEDULE (continued)							
REGISTERED PROPRIETOR		INSTRUMENT		ENTERED		Signature of Registrar-General	
NATURE	NUMBER	DATE					
Sydney Percy Catlin of Liverpool, Painter, Sydney Victor Pickering, Body Builder and Leslie Halsei Jones, Clerk of Hammondville, as Joint Tenants			Transfer	21-2-1965			
Sydney Percy Catlin of Liverpool, Painter and Leslie Halsei Albert Jones of Gulgurra, Clerk as joint tenants			Notice of Death	7-11-1975			
Mick Gimellaro of Peestons, Builder and Beverley Gimellaro his wife as joint tenants			Transfer	12-8-1977			
Neutice Philip John Summit of Liverpool, Assistant Ice-cream and Carmen Josephine Summit his wife as joint tenants			Transfer	27-6-1979			
New South Wales Land and Housing Corporation							

**CANCELLED** REGISTERED 11-2-1987

SECOND SCHEDULE (continued)									
INSTRUMENT		PARTICULARS		ENTERED		Signature of Registrar-General		CANCELLATION	
NATURE	NUMBER	DATE							
Transfer	L 558/36 P	12-2-1969	Agreement to drain water, affecting that part of the land within described shown as 6 feet wide in plan lodged with Transfer No. L 558/36	17-10-1969					
Transfer	Q 590705 P		Easement for Sewerage Purposes (as more fully set out in the said instrument) appurtenant to the land within described affecting that piece of land shown so burdened in the plan hereon within Lot 2 comprised in Certificate of Title Vol 9409 Fol 67.	27-6-1979					
Mortgage	A 33690		to Commonwealth Savings of Australia	27-6-1979				VI44194	

NOTE: ENTRIES RULED THROUGH AND AUTHENTICATED BY THE SEAL OF THE REGISTRAR-GENERAL ARE CANCELLED

# **Appendix C**

## **Historical Aerial Photography**

## Historical Aerial Imagery of Previous Landuse – 23 & 25 Charles St, Liverpool

1942 – Vacant Land within residential area with no buildings on Site.



1961 – residential area with no buildings on Site. Stockpiles or vegetation in the southwest corner of Lot 2.





**1970 – Residential area with no buildings on Site. Car Yards located upgradient on the Hume Highway.**



**1986 – Two residential buildings on Site. Commercial /industrial sites upgradient adj. Hume Highway.**





2004/02/19 – Residential buildings on Site as per 1986.



2006/09/21 – Residential buildings on Site as per 1986. Adj. buildings to the West have been demolished.





2017 - Multi storey buildings to the north with active building sites further to the west.



# **Appendix D**

**Dial Before You Dig Service Records**



Job No 15336162

Phone: 1100  
[www.1100.com.au](http://www.1100.com.au)

### Caller Details

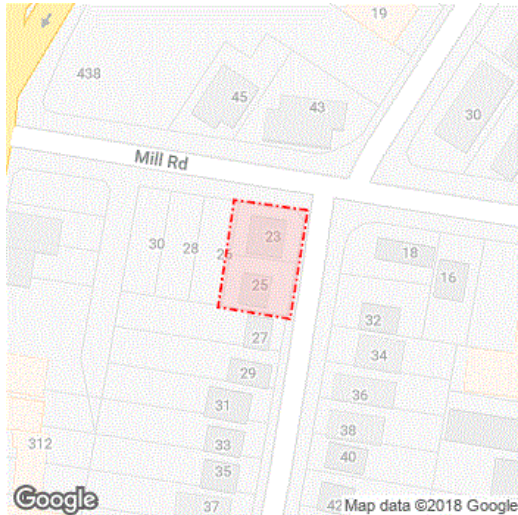
**Contact:** Mr Rohan Last  
**Company:** enrs  
**Address:** 25 River Road  
Shoalhaven Heads NSW 2535

**Caller Id:** 1253748  
**Mobile:** 0401518443  
**Email:** rohan@enrs.com.au

**Phone:** 0290374708  
**Fax:** 0290374708

### Dig Site and Enquiry Details

**WARNING:** The map below only displays the location of the proposed dig site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.



**User Reference:** ENRS1182  
**Working on Behalf of:** Private  
**Enquiry Date:** 21/11/2018  
**Start Date:** 23/11/2018  
**End Date:** 22/02/2019

**Address:**  
25 Charles Street  
Liverpool NSW 2170

**Job Purpose:**

Design

**Location of Workplace:**

Both

**Onsite Activity:**

Planning & Design

**Location in Road:**

Footpath, Nature Strip

- Check the location of the dig site is correct. If not submit a new enquiry.
- If the scope of works change, or plan validity dates expire, resubmit your enquiry.
- Do NOT dig without plans. Safe excavation is your responsibility. If you do not understand the plans or how to proceed safely, please contact the relevant asset owners.

**Notes/Description of Works:**

Enviro site assessment

### Your Responsibilities and Duty of Care

- If plans are not received within 2 working days, contact the asset owners directly & quote their Sequence No.
- ALWAYS perform an onsite inspection for the presence of assets. Should you require an onsite location, contact the asset owners directly. Please remember, plans do not detail the exact location of assets.
- Pothole to establish the exact location of all underground assets using a hand shovel, before using heavy machinery.
- Ensure you adhere to any State legislative requirements regarding Duty of Care and safe digging requirements.
- If you damage an underground asset you MUST advise the asset owner immediately.
- By using this service, you agree to Privacy Policy and the terms and disclaimers set out at [www.1100.com.au](http://www.1100.com.au)
- For more information on safe excavation practices, visit [www.1100.com.au](http://www.1100.com.au)

### Asset Owner Details

The assets owners listed below have been requested to contact you with information about their asset locations within 2 working days. Additional time should be allowed for information issued by post. It is **your responsibility** to identify the presence of any underground assets in and around your proposed dig site. Please be aware, that not all asset owners are registered with the Dial Before You Dig service, so it is **your responsibility** to identify and contact any asset owners not listed here directly.

\*\* Asset owners highlighted by asterisks \*\* require that you visit their offices to collect plans.

# Asset owners highlighted with a hash require that you call them to discuss your enquiry or to obtain plans.


Seq. No.	Authority Name	Phone	Status
77805600	Endeavour Energy	0298534161	NOTIFIED
77805602	Jemena Gas West	1300880906	NOTIFIED
77805597	Liverpool City Council	1300362170	NOTIFIED
77805604	NBN Co, NswAct	1800626762	NOTIFIED
77805598	Nextgen, NCC - NSW	1800032532	NOTIFIED
77805599	PIPE Networks, Nsw	1800201100	NOTIFIED
77805603	Sydney Water	132092	NOTIFIED
77805601	Telstra NSW, Central	1800653935	NOTIFIED

END OF UTILITIES LIST











**Lodge Your Free Enquiry Online – 24 Hours a Day, Seven Days a Week**

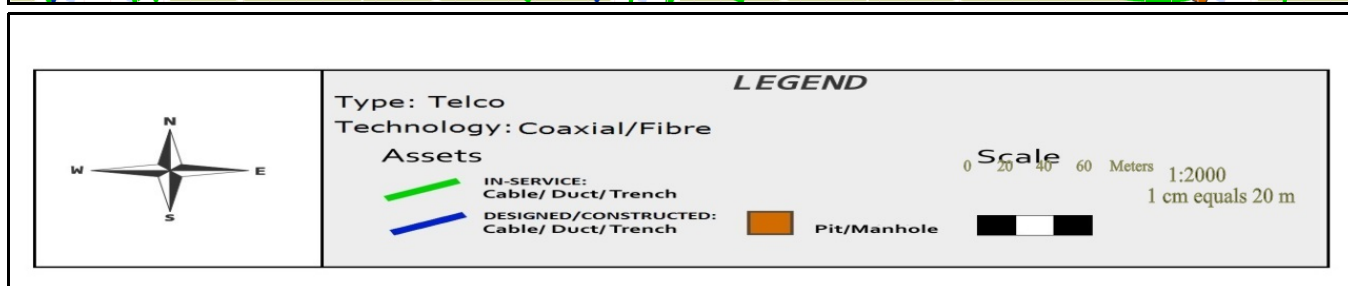
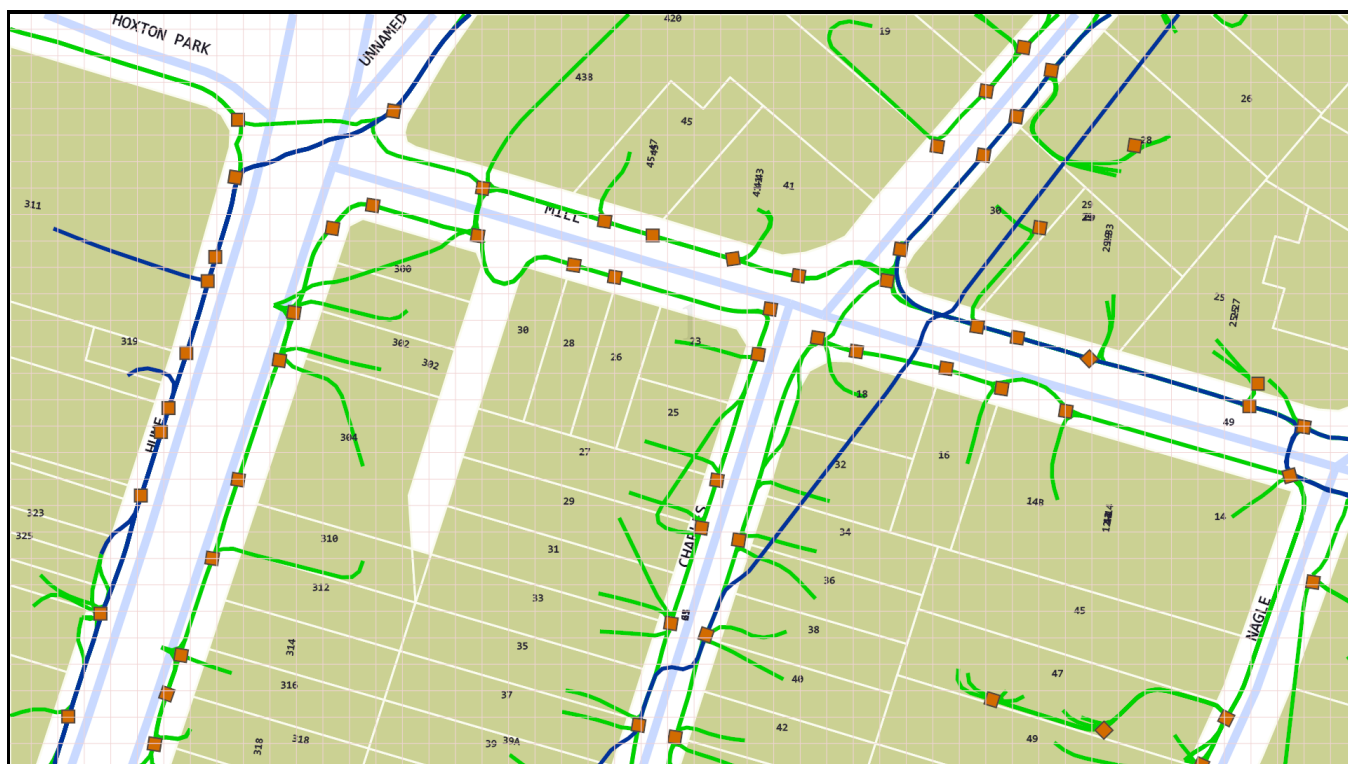


## Indicative Plans

Issue Date:	21/11/2018	 <b>DIAL BEFORE YOU DIG</b> www.1100.com.au
Location:	25 Charles Street , Liverpool , NSW , 2170	

1

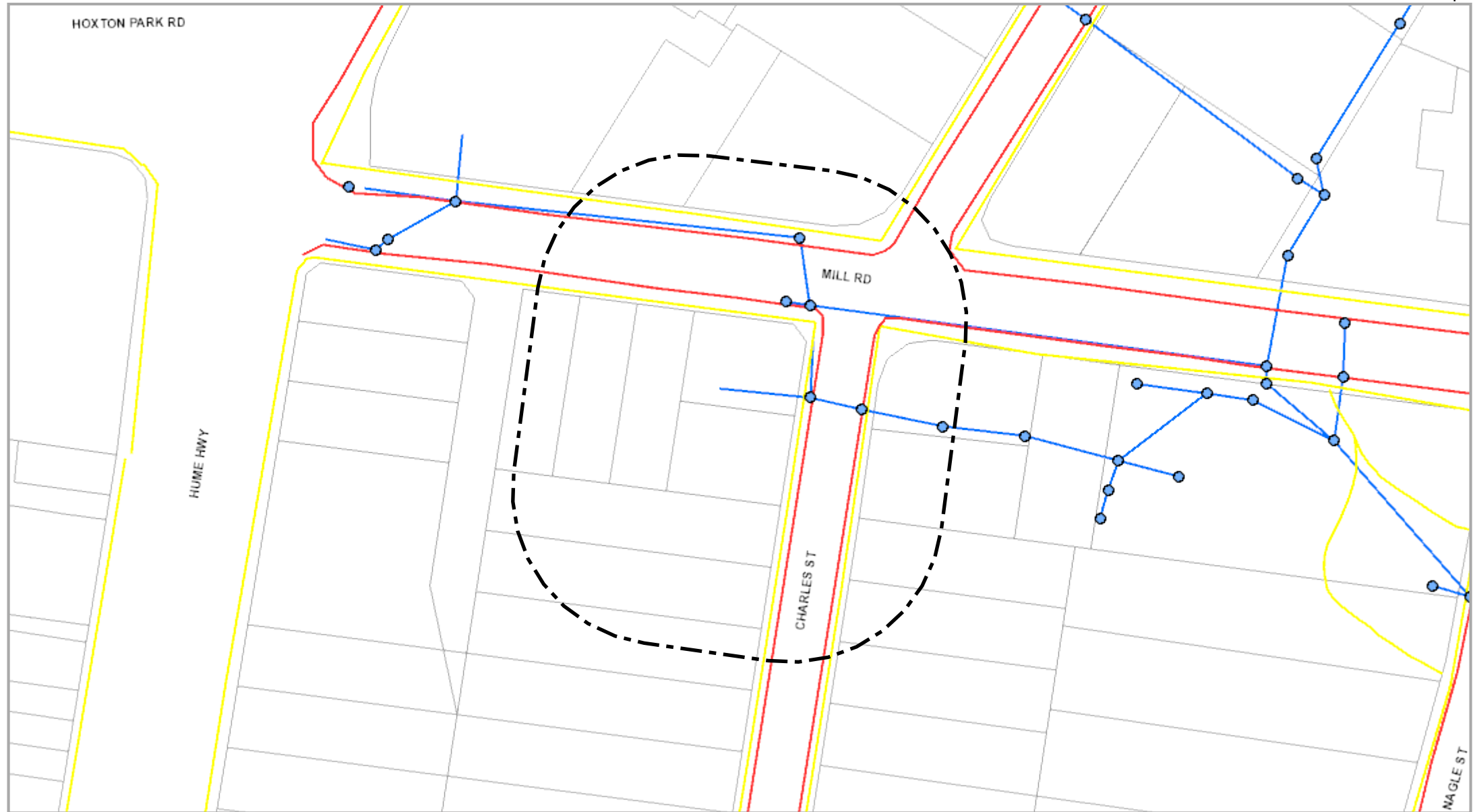
	<b>LEGEND</b>					
	<p>Type: Telco Technology: Coaxial/Fibre</p> <p><b>Assets</b></p> <table><tr><td></td><td>IN-SERVICE: Cable/ Duct/ Trench</td><td rowspan="2"> Pit/Manhole</td></tr><tr><td></td><td>DESIGNED/CONSTRUCTED: Cable/ Duct/ Trench</td></tr></table>			IN-SERVICE: Cable/ Duct/ Trench	 Pit/Manhole	
	IN-SERVICE: Cable/ Duct/ Trench	 Pit/Manhole				
	DESIGNED/CONSTRUCTED: Cable/ Duct/ Trench					
	<p><b>Scale</b></p> <p>0 20 40 60 Meters 1:2000 1 cm equals 20 m</p>					



## Emergency Contacts

You must immediately report any damage to **nbn™** network that you are/become aware of. Notification may be by telephone - 1800 626 329.



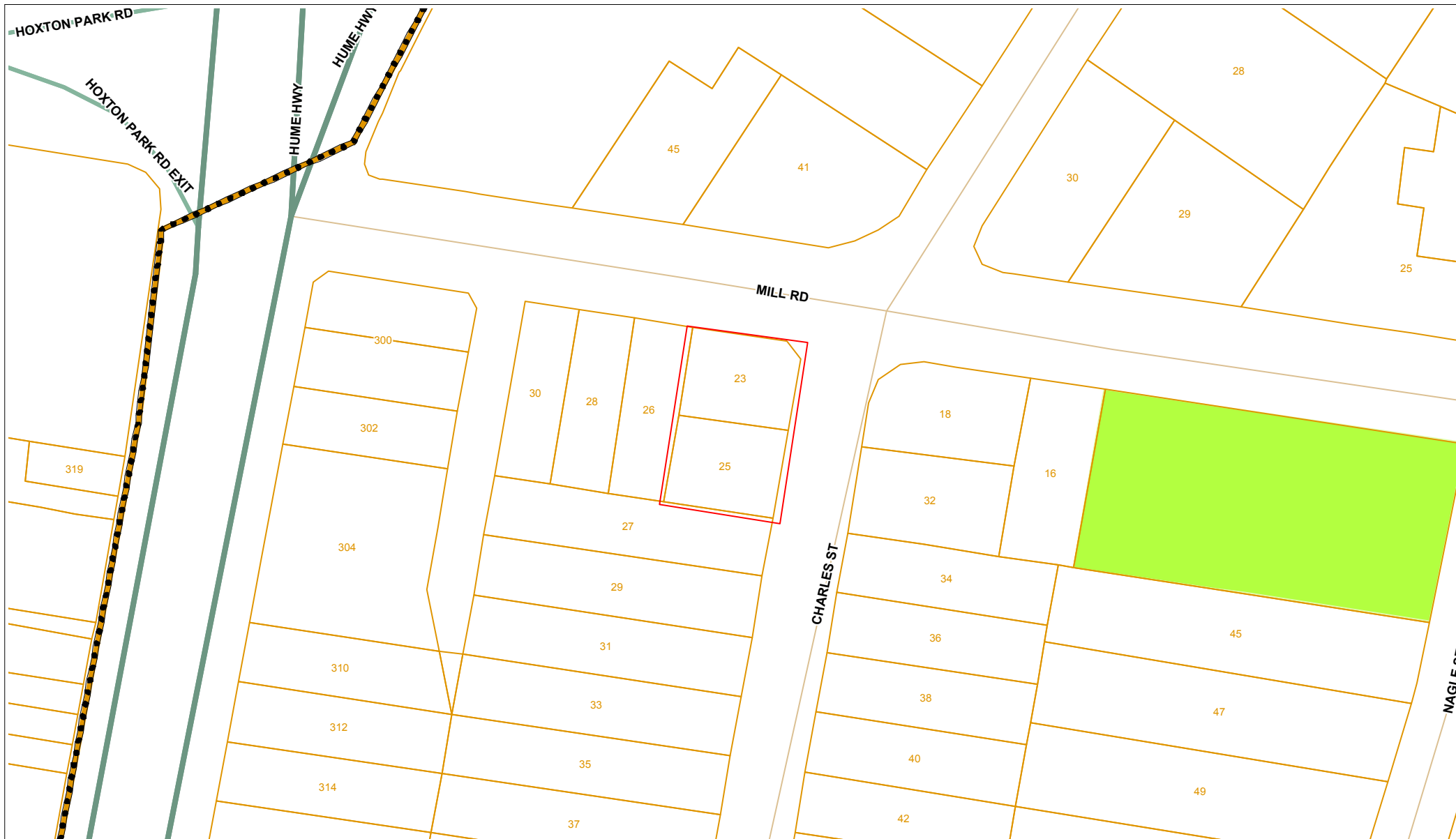


Legend | Scale: 1:1000 | Tile No: 1

- |           |                         |                                |
|-----------|-------------------------|--------------------------------|
| Bus Stops | Kerb and Gutter         | Cadastre                       |
| Pits      | Footpaths and Cycleways | Bridges                        |
| Headwalls | Pipes                   | Environmentally Sensitive Land |

**DISCLAIMER:** While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Liverpool City Council or PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.











Sequence Number: 77805598

Date: 21/11/2018

**DISCLAIMER:** THIS DRAWING SHOULD NOT BE SCALED TO LOCATE CABLES. NO WARRANTY IS GIVEN THAT THE INFORMATION IS ACCURATE OR COMPLETE. IF YOU REQUIRE INFORMATION REGARDING LOCATING THE CABLE PLEASE CALL NEXTGEN. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR DIAL BEFORE YOU DIG USE. THIS PLAN CONTAINS COMMERCIAL SENSITIVE INFORMATION AND IS TO BE TREATED ACCORDINGLY. NO SUCH INFORMATION IS TO BE PASSED ONTO OTHER PARTIES WITHOUT WRITTEN CONSENT FROM NEXTGEN PTY LTD.



## LEGEND

Digsite	Assets
 Point	 Cable
 Line	 3rd Party Duct
 Area	 Marker Post



## Response Cover Letter

Date: 21/11/2018

**PIPE Networks**  
Level 17, 127 Creek St  
Brisbane QLD 4000  
Phone: +61 732339895  
Fax: +61 732339880

**To:**

Mr Rohan Last  
enrs - Mr Rohan Last  
25 River Road  
Shoalhaven Heads  
NSW  
2535

- Customer ID: 1253748

Email: rohan@enrs.com.au  
Phone: 0290374708  
Fax: 0290374708  
Mobile: 0401518443

Dear Mr Rohan Last

The following is our response to your Dial Before You Dig enquiry.

**Assets Affected:** PIPE Networks, Telstra

**Sequence Number:** 77805599

**Location:** 25 Charles Street  
Liverpool  
NSW  
2170

**Commencement Date:** 23/11/2018

Please read over the attached documents for more information about your enquiry.

**DISCLAIMER:** No responsibility/liability is taken by PIPE Networks for any inaccuracy, error, omission or action based on the information supplied in this correspondence.

**Note:** If the works fall in an area that adjacent to PIPE Networks infrastructure, a pre-inspection is required prior to commencement of works. Contact PIPE Networks to arrange an inspection time. **NO WORKS TO COMMENCE PRIOR TO INSPECTION.**



Level 17, PIPE Networks House, 127 Creek Street, Brisbane 4000  
PH:(07) 3233 9895 FAX:(07) 3233 9880

Attention: Mr Rohan Last  
Fax: 0290374708  
DBYD Enquiry Number: 77805599

Date: 21/11/2018

Location: 25 Charles Street  
Liverpool  
NSW  
2170

### DBYD ENQUIRY RETURN:

PIPE Networks **DOES** own or operate telecommunications network infrastructure within the area detailed above.

The affected network **is contained in the PIPE Networks duct network** and can be found on **PIPE Networks** own network plans.

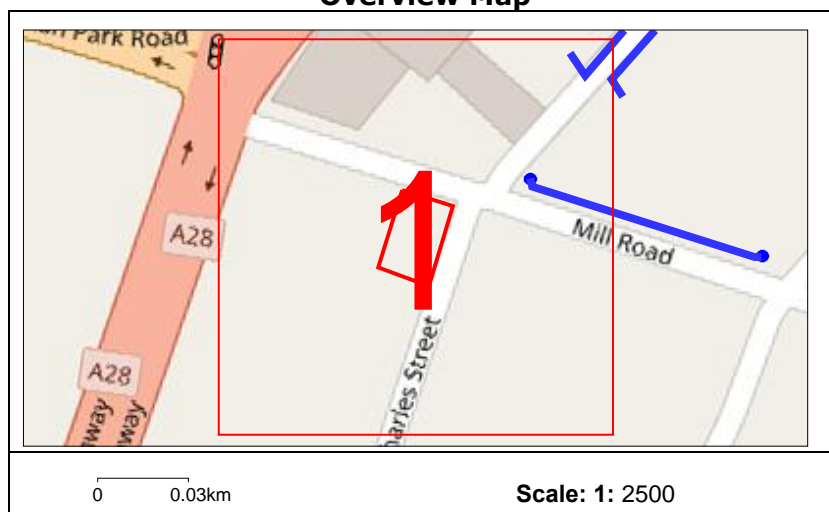
**This network is vital to our operations and as such, it is critical that no works commence within the area until a PIPE Networks representative has contacted you.**

A PIPE Networks representative will contact you within 24 hours to further discuss your intended works. If you do not hear from PIPE networks within 24hours please call us for assistance.

Due to continued network expansion, this network information can only be considered valid and accurate for 28 days from issue.

PIPE Networks will seek compensation for any damage to its network through negligence or ignorance of your duty of care.

### Overview Map



PIPE Networks (for information specific to this job only)

Ph (07) 3233 9895

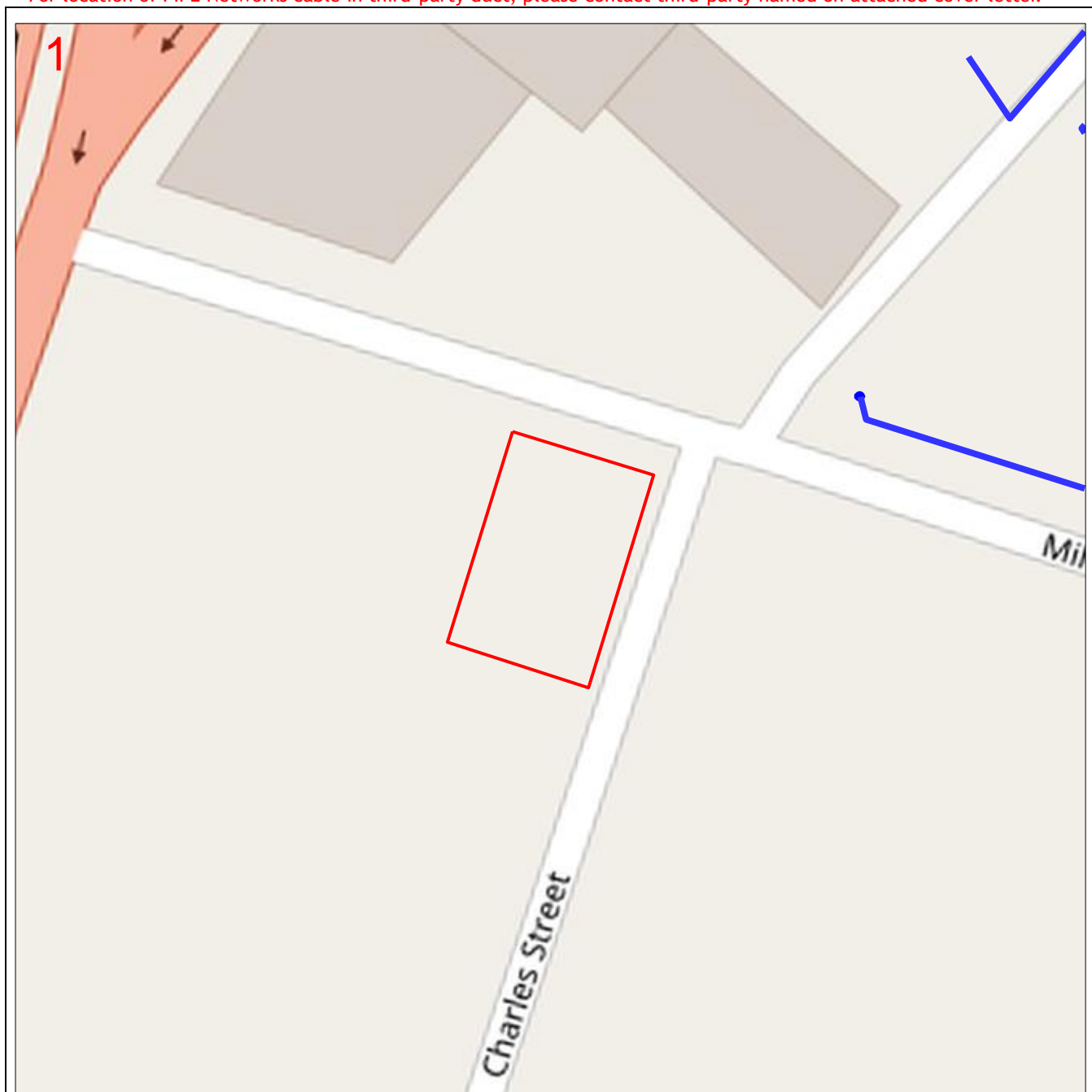
Email: [dbyd@pipenetworks.com](mailto:dbyd@pipenetworks.com)

**DISCLAIMER:** No responsibility/liability is taken by PIPE Networks for any inaccuracy, error, omission or action based on the information supplied in this correspondence.

**Note:** If the works fall in an area that adjacent to PIPE Networks infrastructure, a pre-inspection is required prior to commencement of works. Contact PIPE Networks to arrange an inspection time. **NO WORKS TO COMMENCE PRIOR TO INSPECTION.**

Only PIPE Networks' duct displayed.

For location of PIPE Networks cable in third-party duct, please contact third-party named on attached cover letter.



Enquiry Number: 77805599

Map Sheet: 1

Scale: 1:750

0 0.008km

#### LEGEND

DBYD Request Area

Asset

Line



Manhole



Area



Duct



**DISCLAIMER:** No responsibility/liability is taken by PIPE Networks for any inaccuracy, error, omission or action based on the information supplied in this correspondence. © 2013 PIPE Networks Ltd.

**Note:** If the works fall in an area that is adjacent to PIPE Networks infrastructure, a pre-inspection is required prior to commencement of works. Contact PIPE Networks to arrange an inspection time. **NO WORKS TO COMMENCE PRIOR TO INSPECTION.**

#### WARNING

- **All electrical apparatus shall be regarded as live until proved de-energised.** Contact with live electrical apparatus will cause severe injury or death.
- In accordance with the *Electricity Supply Act 1995*, you are obliged to report any damage to Endeavour Energy Assets immediately by calling **131 003**.
- The customer must obtain a new set of plans from Endeavour Energy if work has not been started or completed within twenty **(20)** working days of the original plan issue date.
- The customer must contact Endeavour Energy if any of the plans provided have blank pages, as some underground asset information may be incomplete.
- Endeavour Energy underground earth grids may exist and their location **may not** be shown on plans. Persons excavating are expected to exercise all due care, especially in the vicinity of padmount substations, pole mounted substations, pole mounted switches, transmission poles and towers.
- Endeavour Energy plans **do not** show any underground customer service mains or information relating to service mains within private property.
- Asbestos or asbestos-containing material may be present on or near Endeavour Energy's underground assets.
- Organo-Chloride Pesticides (OCP) may be present in some sub-transmission trenches.
- All plans must be printed and made available at the worksite where excavation is to be undertaken. Plans must be reviewed and understood by the crew on site prior to commencing excavation.

#### INFORMATION PROVIDED BY ENDEAVOUR ENERGY

- Any plans provided pursuant to this service are intended to show the approximate location of underground assets relative to road boundaries, property fences and other structures at the time of installation.
- Depth of underground assets may vary significantly from information provided on plans as a result of changes to road, footpath or surface levels subsequent to installation.
- Such plans have been prepared solely for use by Endeavour Energy staff for design, construction and maintenance purposes.
- All enquiry details and results are kept in a register.

#### DISCLAIMER

Whilst Endeavour Energy has taken all reasonable steps to ensure that the information contained in the plans is as accurate as possible it will accept no liability for inaccuracies in the information shown on such plans.

**WARNING**  
THIS EXCAVATION IS IN THE VICINITY OF  
ENDEAVOUR ENERGY TRANSMISSION, PILOT,  
COMMUNICATION OR FIBRE OPTIC CABLES  
PLEASE RING 9853 7121 or MOB. 0407 468 626  
**4 WORKING DAYS BEFORE COMMENCING WORK**

#### LEGEND

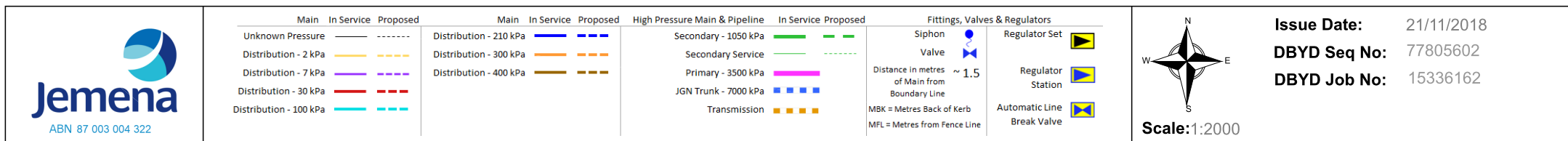
- or ■ Street light column
- ▤ Padmount substation
- or ■ Overground pillar (O.G.Box)
- ⊠ Underground pit
- Duct run
- Cable run
- ⊙ Typical duct section
- ▲ Asbestos warning



NOT TO SCALE

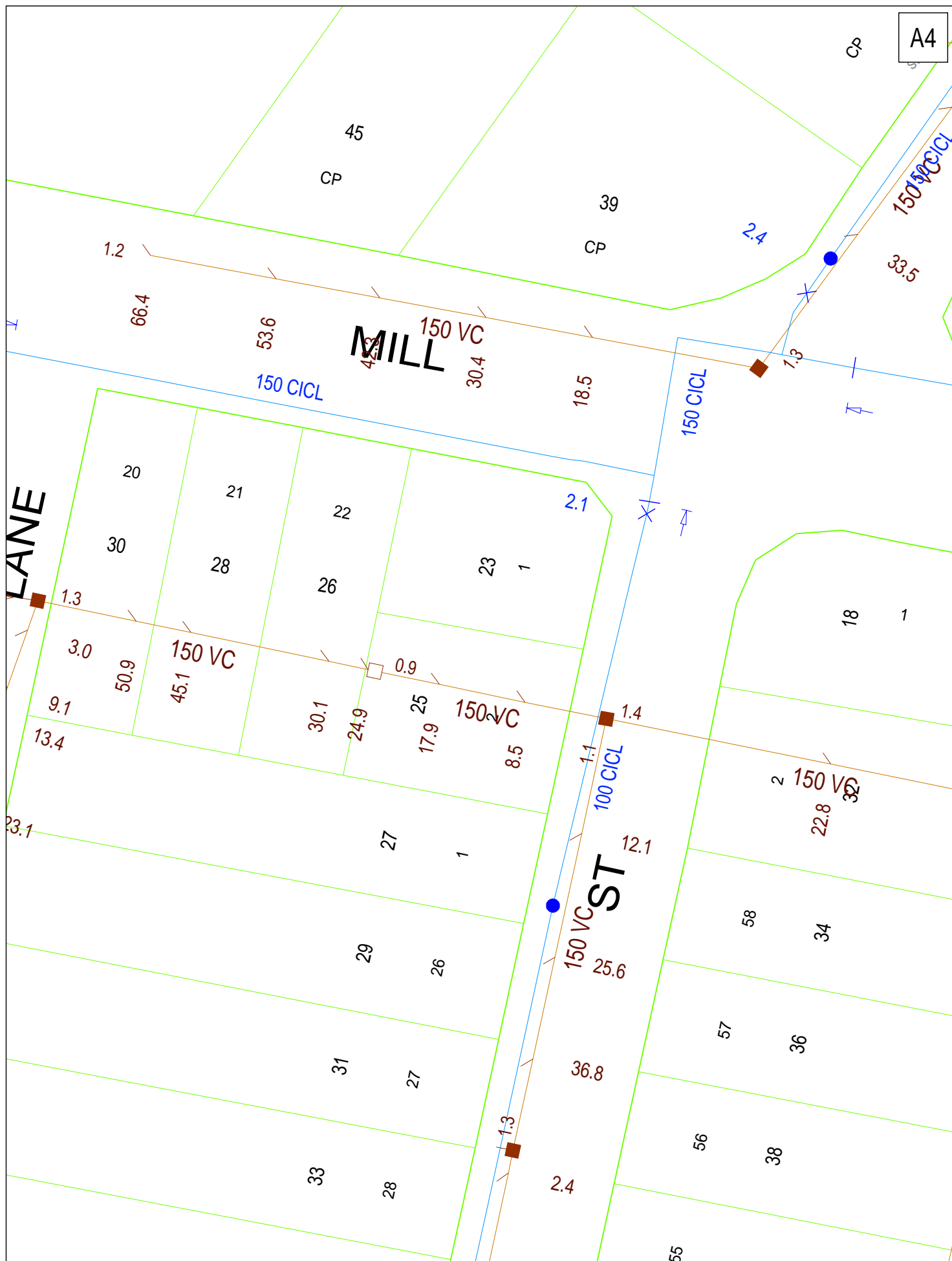
DBYD Sequence No.:	77805600
Issued Date:	21/11/2018

Cadastre: © Land and Property Information 2015, 2016



**WARNING:** This is a representation of Jemena Gas Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. This plan is diagrammatic only, and distances scaled from this plan may not be accurate. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the date of issue.





A4

DBYD Address:  
25 Charles Street  
Liverpool NSW 2170  
DBYD Job No: 15336162  
DBYD Sequence No: 77805603

Copyright Reserved Sydney Water 2018

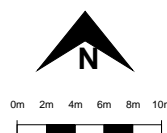
No warranty is given that the information shown is complete or accurate.

SYDNEY WATER CORPORATION

Scale: 1:500

Date of Production: 22/11/2018

Plan 1 of 1





# **Appendix E**

## **Photographic Record of Site Conditions**

## Photographic Record of Site Conditions – 23 Charles St, Liverpool (15/11/2018)

**Photograph 1 Front Yard**



**Photograph 2 Back Yard**



**Photograph 3 Side of House with limited access**



**Photograph 4 Back yard with garden**





## Photographic Record of Site Conditions – 25 Charles St, Liverpool (15/11/2018)

Photograph 5 Front driveway



Photograph 6 Front Yard



Photograph 7 front boundary looking north



Photograph 8 Back yard



Photograph 9 Asbestos fragments in backyard soil



Photograph 10 Asbestos fragments in soil

